

APPENDIX A

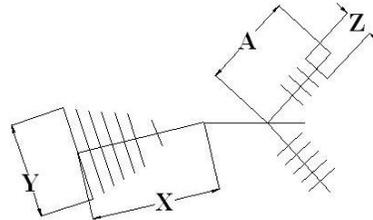
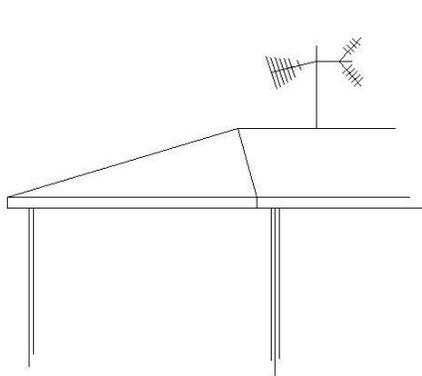
ILLUSTRATIONS

ANTENNA. Any structure designed for transmitting signals to a receiving station or for receiving television, radio, data, or other signals from satellites or other sources.

ANTENNA SUPPORT STRUCTURE. Any structure used for the principal purpose of supporting an antenna.

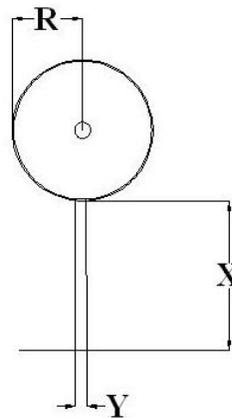
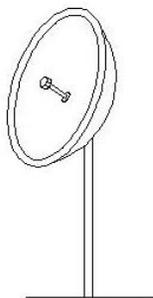
ANTENNA SURFACE AREA. An area determined by adding together the actual surface area of each solid element or part of an antenna or its antenna support structure, where "solid" is defined to include all air spaces that are fully bounded by solid elements.

ANTENNA SURFACE AREA



Antenna Surface Area = $1/2(x \cdot y); 2(z \cdot a)$

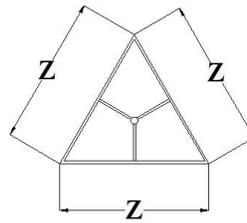
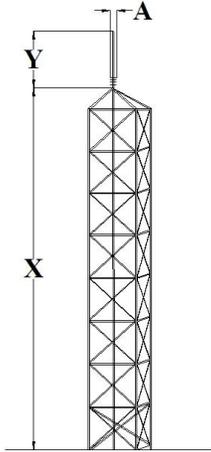
TOP VIEW



Antenna Surface Area = πr^2 ; plus $x \cdot y$

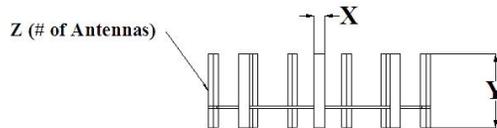
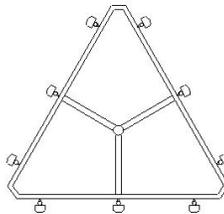
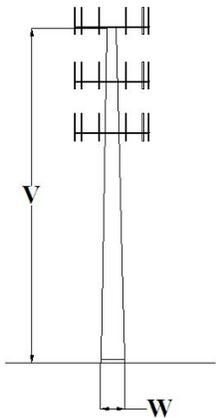
FRONT VIEW

ANTENNA SURFACE AREA



Antenna Surface Area = $3z \cdot x$; plus $y \cdot a$

TOP VIEW



Antenna Surface Area = $v \cdot w$; plus $Z(x \cdot y)$

TOP AND SIDE VIEW

BASEMENT. Any portion of a building partly or wholly underground.

GRADE. For structures more than five (5) feet from any street line, the average level of the finished surface adjacent to the structure. For structures any portion of which is located within five (5) feet of a street line or lines, the curb level, or the average of the curb levels, at such street line or lines.

STORY. Except as otherwise specifically provided in this Code, that portion of a building included between the surface of any floor and the surface of the floor next above it, or if there is no floor above, then the space between the floor and the ceiling next above it. The floor of a story may have split levels provided that there is not more than four feet difference in elevation between the different levels of the floor. Any floor space devoted to:

1. A residential use in which the distance from one floor to the floor or ceiling above it is more than twelve (12) feet shall be deemed to consist of one (1) story for each twelve (12) feet of height or fraction thereof;
2. A warehousing and storage or manufacturing, fabrication, processing, assembly and alteration use in a building or a portion of a building having only (1) one floor in which the distance from the floor to the ceiling above it is more than thirty-two (32) feet shall be deemed to consist of one (1) story for each thirty-two (32) feet of height or fraction thereof;
3. A permitted use in the Open Space or Institutional Buildings Districts shall be deemed to consist of one (1) story without regard to the distance from one floor to the floor or ceiling above it; and
4. Any other use in which the distance from one floor to the floor or ceiling above it is more than eighteen (18) feet shall be deemed to consist of one (1) story for each eighteen (18) feet of height or fraction thereof, except that the Board of Trustees may specify a greater story height for uses authorized pursuant to a special use permit.

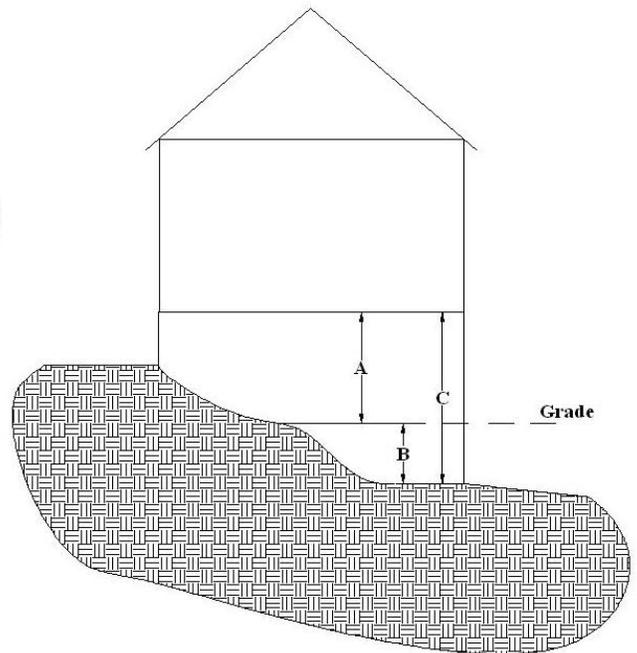
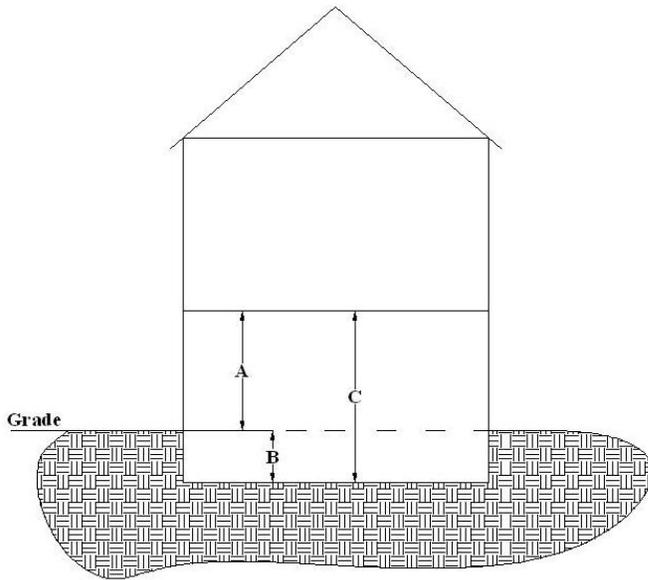
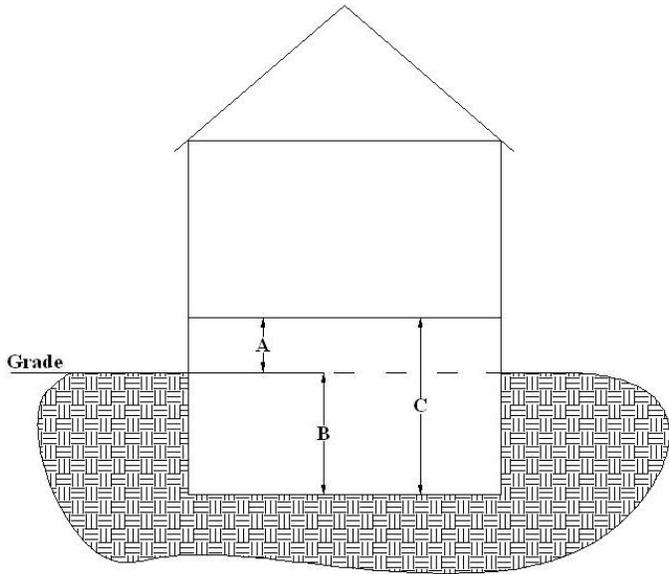
For purposes of this definition, the distance from one floor to the floor or ceiling above it shall be measured between the top surface of the floor and the bottom surface of the inside top covering of a room, unless the bar joists or other structural supports for the inside top covering of the room are exposed, in which event the distance shall be measured between the top surface of the floor and the bottom of such bar joists or other exposed support structures.

STORY, HALF.

1. A space under a sloping roof that has the line of intersection of the roof and wall face not more than three (3) feet above the floor level and in which space the possible floor area with head room of five (5) feet or less occupies at least forty (40) percent of the total floor area of the story directly beneath.
2. A basement but only when half or more of the floor to ceiling height of a basement (over more than half of the floor area) is above grade; when more than half of the floor to ceiling height of a basement (over more than half of the floor area) is below grade, the basement shall not be counted as either a story or half story.

BASEMENT

When “A” is less than “B”, basement “C” is not considered a story.



When “A” is greater than “B”, basement “C” is considered a half-story.

AREA, GROSS. The total land and water area included in a parcel that is the subject of an application filed pursuant to this Code, excluding only land or water areas located within or under public rights-of-way or private easements of access or egress at the time of application.

AREA, NET. The gross area of a parcel less land and water areas required or proposed to be publicly dedicated, or land to be devoted to private easements of access or egress.

FLOOR AREA. The sum of the gross horizontal areas of all floors of a building or of such area devoted to a specific use, measured from the exterior face of exterior walls or from the center line of walls separating two buildings or uses. Gross floor area shall include areas such as basement floors; elevator shafts and stairwells at each floor; floor spaces and shafts used for mechanical, electrical, and plumbing equipment, except equipment located on the roof; attic floors; interior balconies and mezzanines; enclosed porches and floor space used for accessory uses; provided, however, that gross floor area shall include only floor area that has a floor to ceiling height of not less than seven feet over a floor area having no horizontal dimension less than seven feet. Gross floor area shall not include floor area devoted to off-street parking or loading within a building or structure, except when accessory to a single family dwelling. Any floor space devoted to:

1. A residential use with a floor to ceiling height of more than twelve (12) feet shall be treated as having a separate floor for each twelve (12) feet of height or fraction thereof;
2. A warehousing and storage or manufacturing, fabrication, processing, assembly and alteration use in a building or a portion of a building having only one (1) floor with a floor to ceiling height of more than thirty-two (32) feet shall be treated as having a separate floor for each thirty-two (32) feet of height or fraction thereof;
3. A permitted use in the Open Space or Institutional Buildings Districts shall be treated as having one (1) floor without regard to the floor to ceiling height; and
4. Any other use with a floor to ceiling height or more than eighteen (18) feet shall be treated as having a separate floor for each eighteen (18) feet of height or fraction thereof, except that the Board of Trustees may specify a greater floor to ceiling height for uses authorized pursuant to a special use permit.

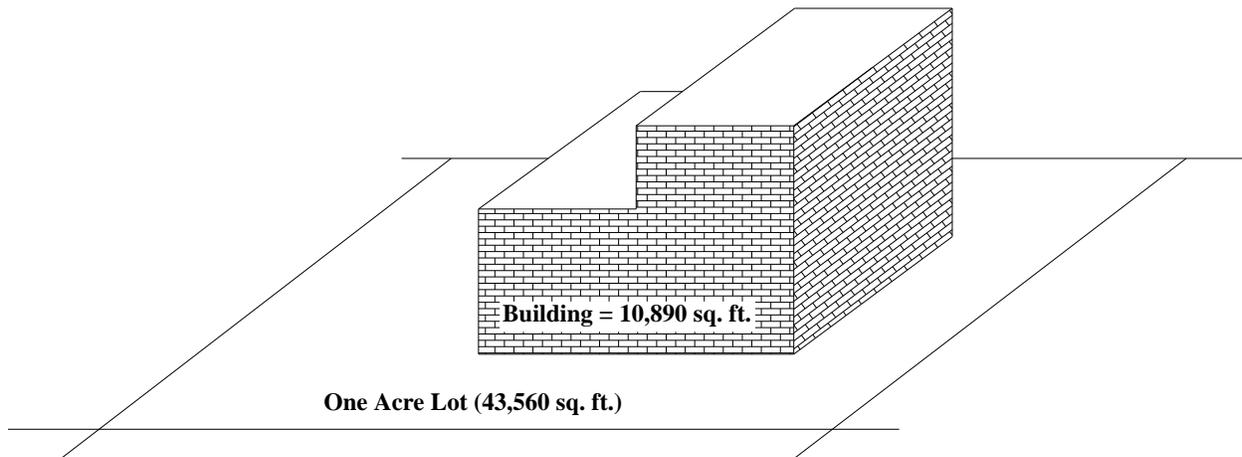
As used herein, floor to ceiling height shall mean the distance between the top surface of the floor and the bottom surface of the inside top covering of a room, unless the bar joists or other structural supports for the inside top covering of the room are exposed, in which event floor to ceiling height shall mean the distance between the top surface of the floor and the bottom of such bar joists or other exposed support structures.

FLOOR AREA RATIO (FAR). The floor area of all buildings on a zoning lot divided by the total lot area of the zoning lot on which they are located. For planned developments, the FAR shall be determined by dividing the gross floor area of all buildings by the net area of the site.

LOT AREA, TOTAL. The total land and water area included within lot lines, excluding, however, areas subject to easements for public or private access or egress.

FLOOR AREA RATIO

$$\text{FAR} = \frac{\text{Total Combined Area of All Floors of Building}}{\text{Lot Area}}$$



$$\text{FAR} = \frac{10,890 \text{ sq. ft.}}{43,560 \text{ sq. ft.}} = 0.25$$

GRADE. For structures more than five (5) feet from any street line, the average level of the finished surface adjacent to the structure. For structures any portion of which is located within five (5) feet of a street line or lines, the curb level, or the average of the curb levels, at such street line or lines.

HEIGHT. The vertical distance measured from grade to the highest point of the roof. Where a parapet wall, penthouse, mechanical equipment, or any similar structure is located on the roof of a building, building height shall be measured to the highest point of said structure if any part of it extends above the height as measured pursuant to the first sentence of this definition. Chimneys of residential buildings shall be disregarded when determining the height of such buildings. (See also Article 9 for height of Accessory Structures).

STORY. Except as otherwise specifically provided in this Code, that portion of a building included between the surface of any floor and the surface of the floor next above it, or if there is no floor above, then the space between the floor and the ceiling next above it. The floor of a story may have split levels provided that there is not more than four feet difference in elevation between the different levels of the floor. Any floor space devoted to:

1. A residential use in which the distance from one floor to the floor or ceiling above it is more than twelve (12) feet shall be deemed to consist of one (1) story for each twelve (12) feet of height or fraction thereof;
2. A warehousing and storage or manufacturing, fabrication, processing, assembly and alteration use in a building or a portion of a building having only (1) one floor in which the distance from the floor to the ceiling above it is more than thirty-two (32) feet shall be deemed to consist of one (1) story for each thirty-two (32) feet of height or fraction thereof;
3. A permitted use in the Open Space or Institutional Buildings Districts shall be deemed to consist of one (1) story without regard to the distance from one floor to the floor or ceiling above it; and
4. Any other use in which the distance from one floor to the floor or ceiling above it is more than eighteen (18) feet shall be deemed to consist of one (1) story for each eighteen (18) feet of height or fraction thereof, except that the Board of Trustees may specify a greater story height for uses authorized pursuant to a special use permit.

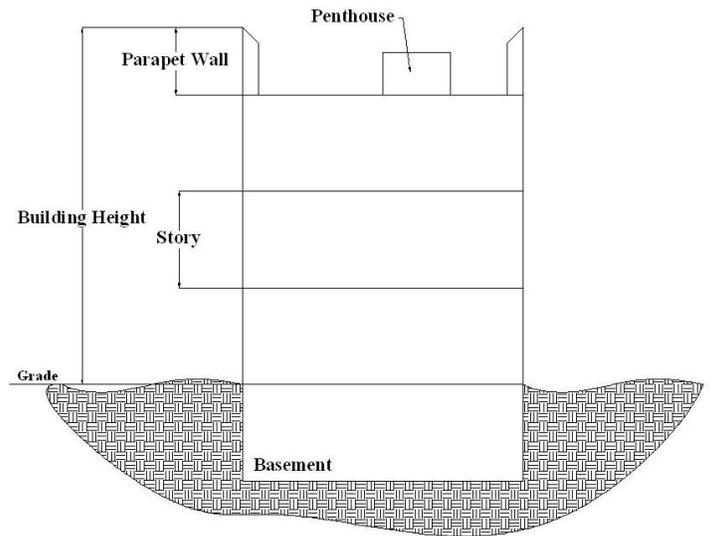
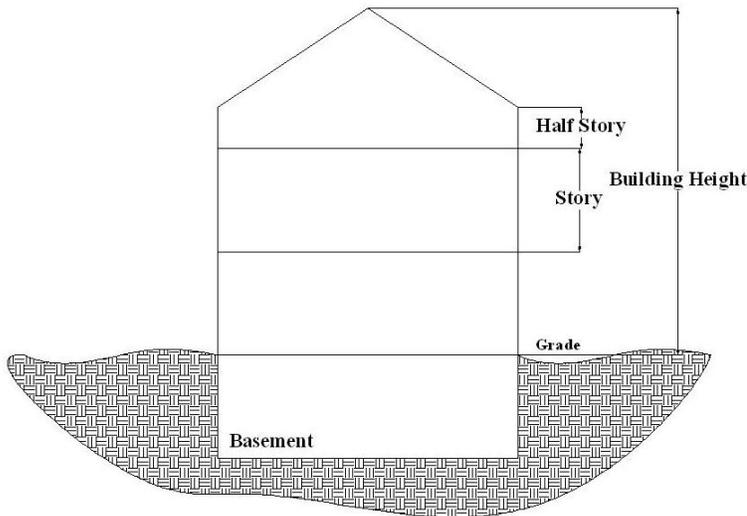
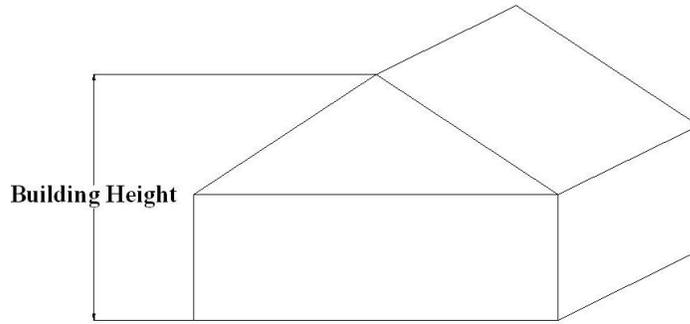
For purposes of this definition, the distance from one floor to the floor or ceiling above it shall be measured between the top surface of the floor and the bottom surface of the inside top covering of a room, unless the bar joists or other structural supports for the inside top covering of the room are exposed, in which event the distance shall be measured between the top surface of the floor and the bottom of such bar joists or other exposed support structures.

STORY, HALF.

1. A space under a sloping roof that has the line of intersection of the roof and wall face not more than three (3) feet above the floor level and in which space the possible floor area with head room of five (5) feet or less occupies at least forty (40) percent of the total floor area of the story directly beneath.

2. A basement but only when half or more of the floor to ceiling height of a basement (over more than half of the floor area) is above grade; when more than half of the floor to ceiling height of a basement (over more than half of the floor area) is below grade, the basement shall not be counted as either a story or half story.

HEIGHT



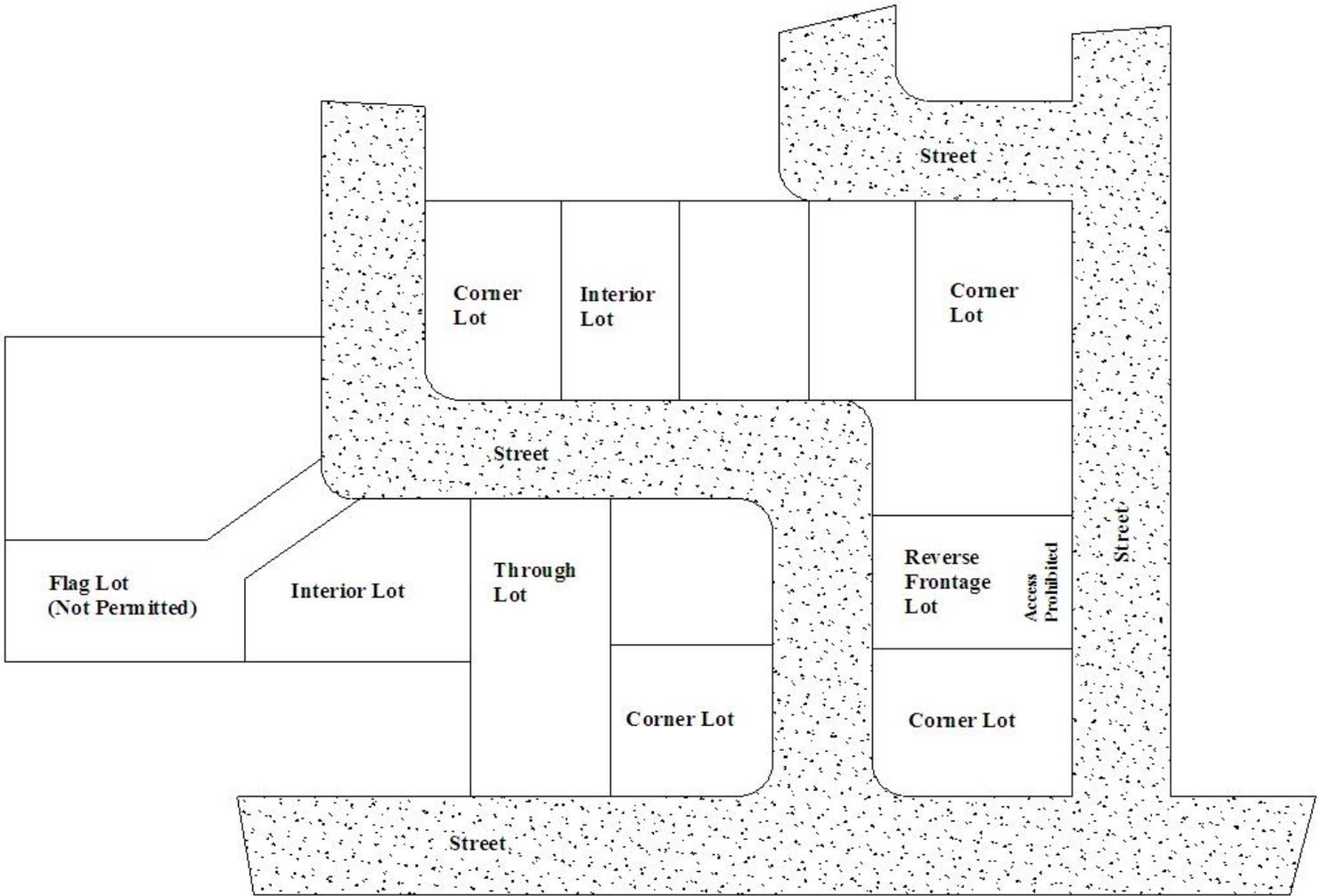
LOT, CORNER. A lot abutting upon two or more streets at their intersection or junction or a lot bounded on two sides by a curving street where it is possible to draw two intersecting tangents, one each commencing at each of the two points of intersection of the lot lines and street line, which intersect with each other to form an interior angle of less than one hundred thirty-five (135) degrees.

LOT, INTERIOR. A lot other than a corner lot.

LOT, REVERSE FRONTAGE. A through lot that does not have access from one of the streets fronting such lot.

LOT, THROUGH. A lot having frontages on two streets that do not intersect at the boundaries of the lot.

LOT TYPES



LOT WIDTH. The horizontal distance between the side or corner side lot lines of a lot measured at the front yard line or setback; and calculated on the arc measurement for curvilinear lots.

LOT LINES. The property lines bounding a lot; provided, however, that when a lot includes land subject to a public or private right-of-way easement for street purposes, the line separating such right-of-way from the rest of the lot shall be deemed to be the lot line.

LOT LINE, CORNER SIDE. Any street line of a corner lot other than its front lot line.

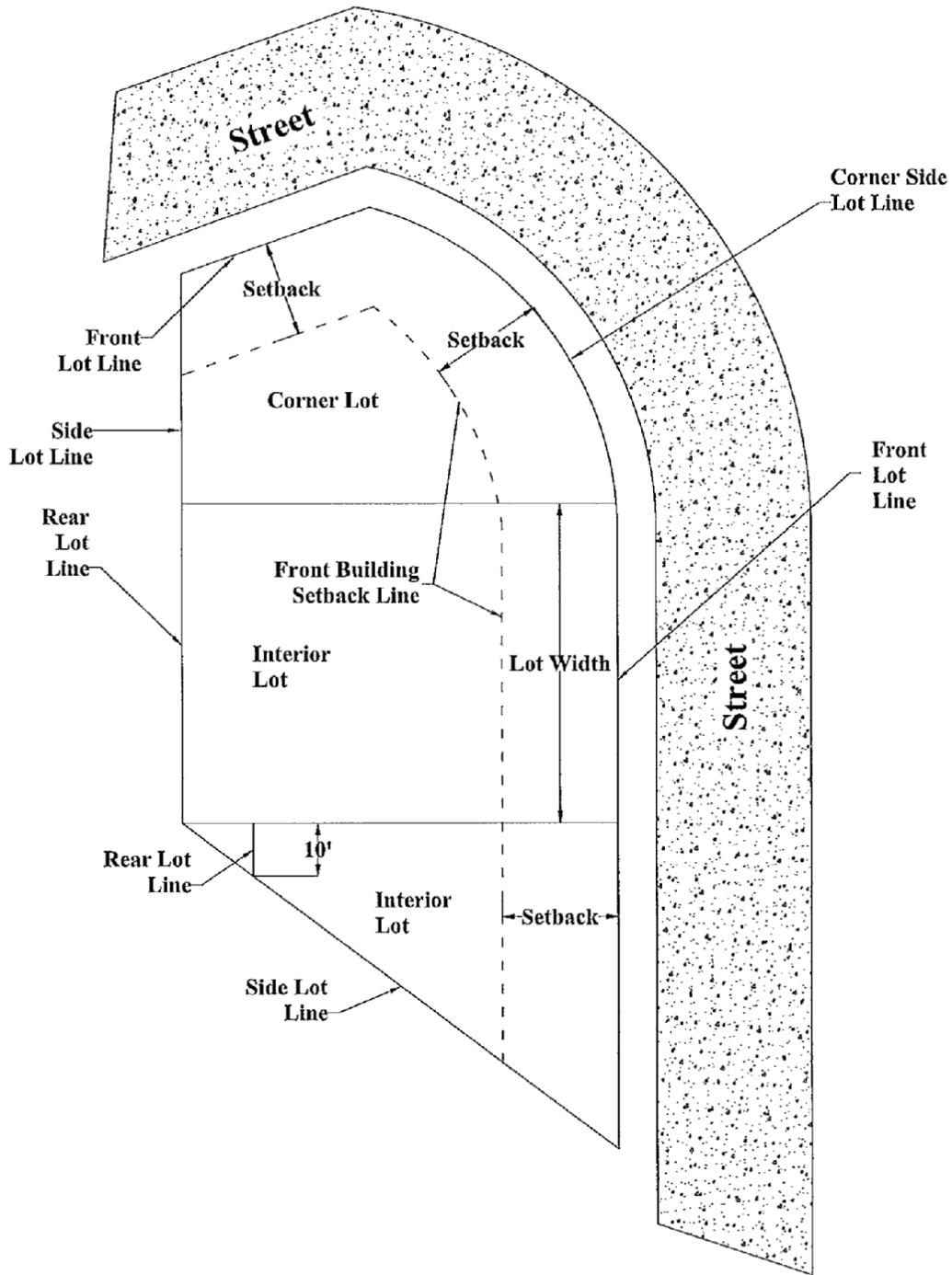
LOT LINE, FRONT. In the case of an interior lot abutting upon only one street, the street line separating such lot from such street right-of-way; in the case of a through lot other than a reverse frontage lot, each street line separating such lot from a street right-of-way; in the case of a reverse frontage lot, the street line separating such lot from the street right-of-way providing access to such lot; in the case of a corner lot, the shortest street line separating such lot from a street right-of-way.

LOT LINE, REAR. That lot line that is parallel to, or most nearly parallel to and most distant from the front lot line of the lot; provided, however, that in any case where no lot line of at least ten (10) feet in length is parallel to the front lot line, a line ten (10) feet in length, entirely within the lot, parallel to, and at the maximum possible distance from, the front lot line shall be considered to be the rear lot line.

LOT LINE, SIDE. Any lot line other than a front, corner-side, or rear lot line.

SETBACK. The minimum horizontal distance between a specified lot or other line, measured as nearly as possible at right angles to such lot line, and the nearest point of a building or structure.

LOT LINES AND SETBACKS



YARD. An open space on a lot that is unoccupied and unobstructed from its lowest level to the sky, except by structures expressly authorized by this Code to be located in yards. A required yard extends along a lot line and at right angles to such line to a minimum depth or width specified in the yard regulations for the Zoning District in which such lot is located.

YARD, CORNER SIDE. A yard on a corner lot extending between the front yard line and the rear lot line; and between the corner side lot line and the corner side yard line.

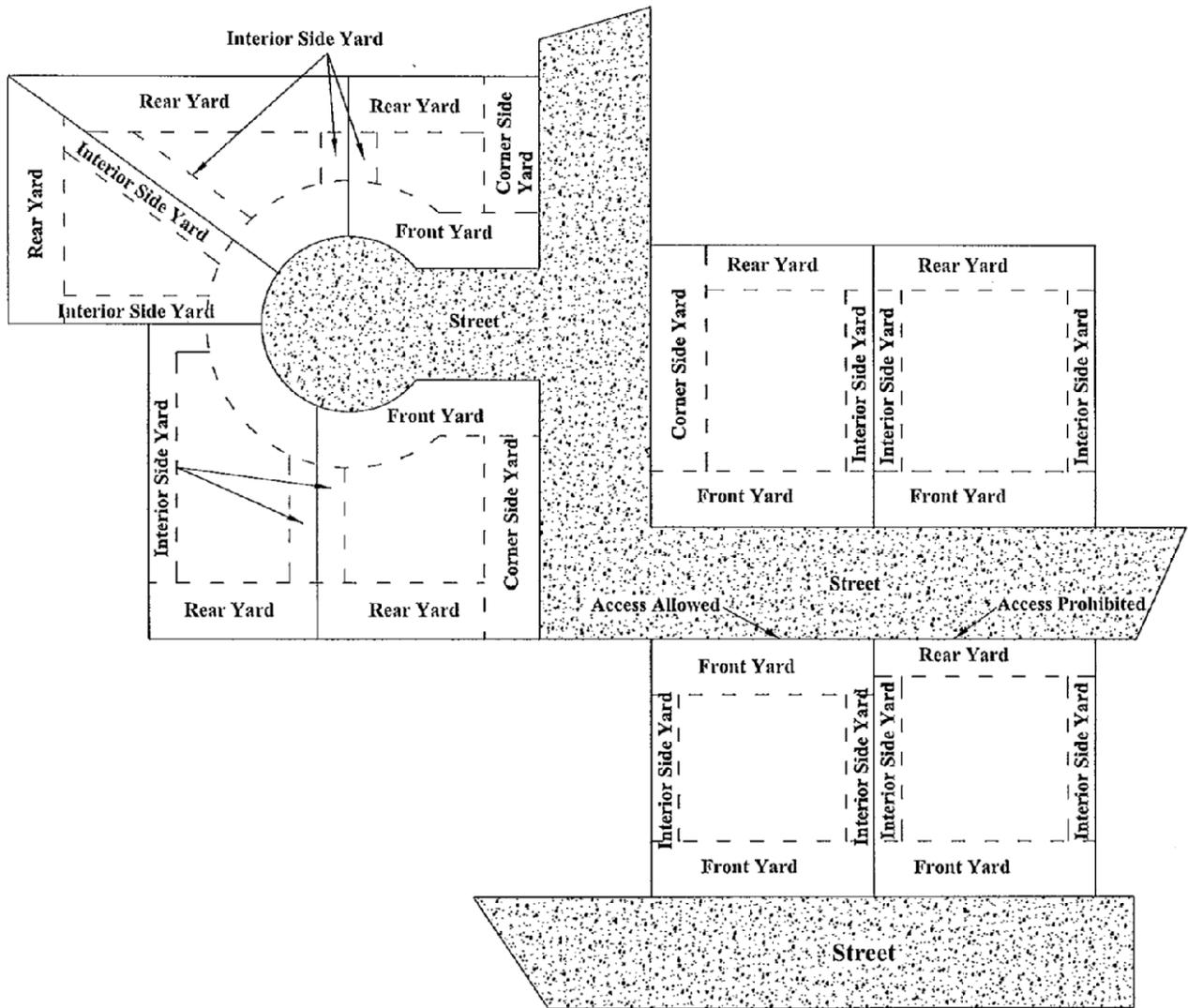
YARD, FRONT. A yard extending between side lot lines and between the front lot line and the front yard line.

YARD, REAR. A yard extending between the two interior side lot lines from the rear lot line to the rear yard line. In the case of corner lots, the rear yard shall extend from the interior side lot line to the corner side yard line.

YARD, SIDE. A yard extending between the front and rear yard lines and between the interior side lot line and the interior side yard line.

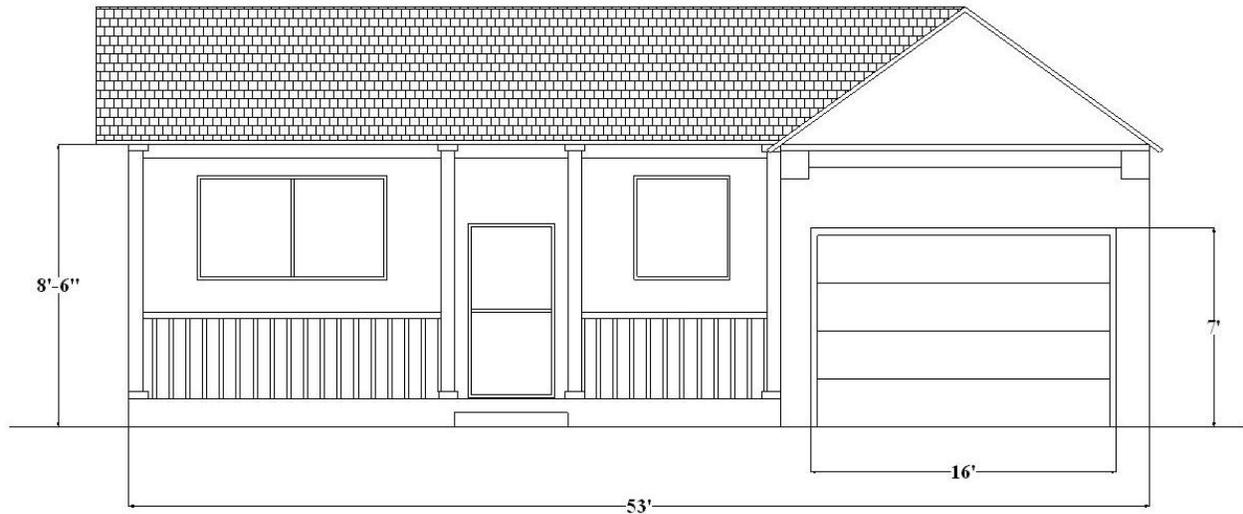
YARD LINE. A line drawn parallel to a lot line at a distance therefrom equal to the minimum depth or width of the yard required along such lot line by this Code.

YARDS



PRIVATE GARAGE DOOR LIMITATION

For single family detached dwellings constructed after the effective date of this Code, no garage door or doors shall constitute more than thirty percent (30%) of the area of the front face of the dwelling to which such garage is attached.



Area of Front Face of Dwelling = Unshaded Area = 528.5 square feet (8'.5" x 53'; plus 1/2 6.5' x 24')

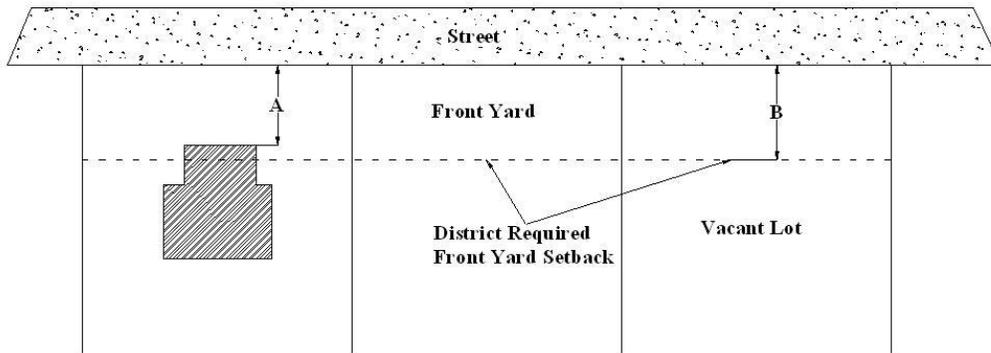
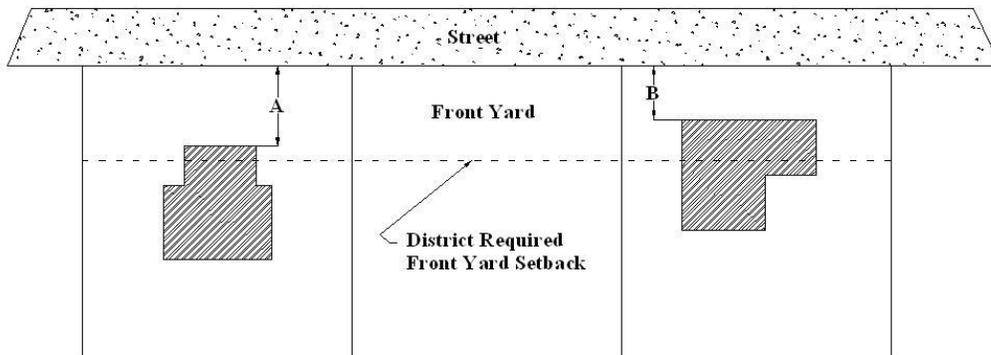
Area of Garage Door = 112 square feet (7' x 16')

Garage Door = 21% of Front Face of Dwelling (112 divided by 528.5)

FRONT YARD ADJUSTMENT NEXT TO EXISTING STRUCTURES

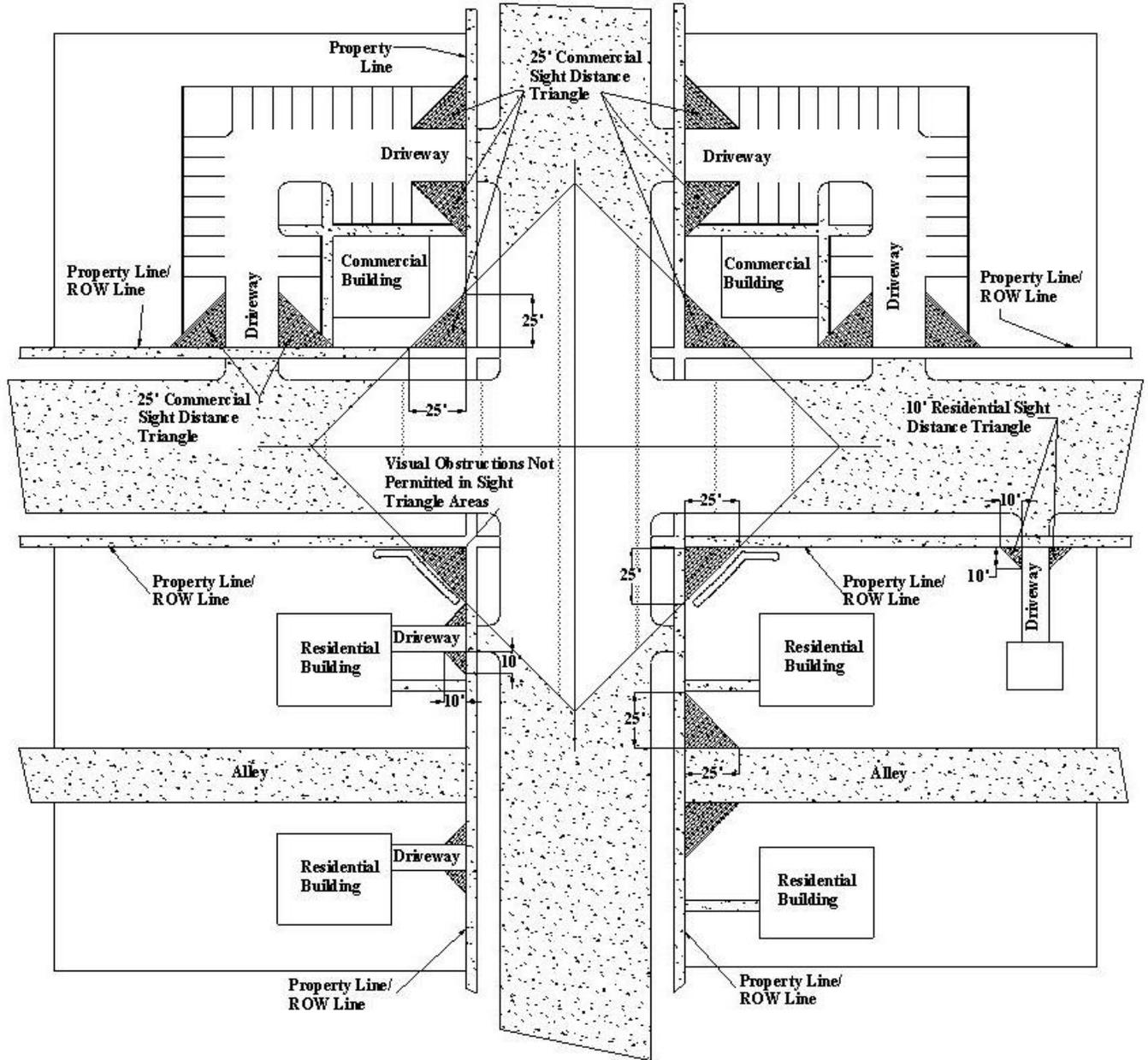
If a lot abuts, on both sides, lots that already have been developed with residential uses or nonresidential uses, and if the principal building on one or both of such abutting lots has an existing setback from the front lot line less than the front yard required in the applicable district regulations, then the front yard applicable to such lot shall be determined by taking the average of such existing setbacks of the principal buildings on the two abutting lots. If a lot abuts a street or a vacant lot on one side and a residential or nonresidential use on the other side that has an existing setback from the front lot line less than the front yard required in the applicable district regulations, then the front yard applicable to such lot shall be determined by taking the average of such existing setback of the principal building on the abutting developed lot and the required front yard in the zoning district in which such lot is zoned.

$$\text{Front Yard} = \frac{A + B}{2}$$



$$\text{Front Yard} = \frac{A + \text{District} + \text{Yard}}{2}$$

SIGHT DISTANCE TRIANGLE

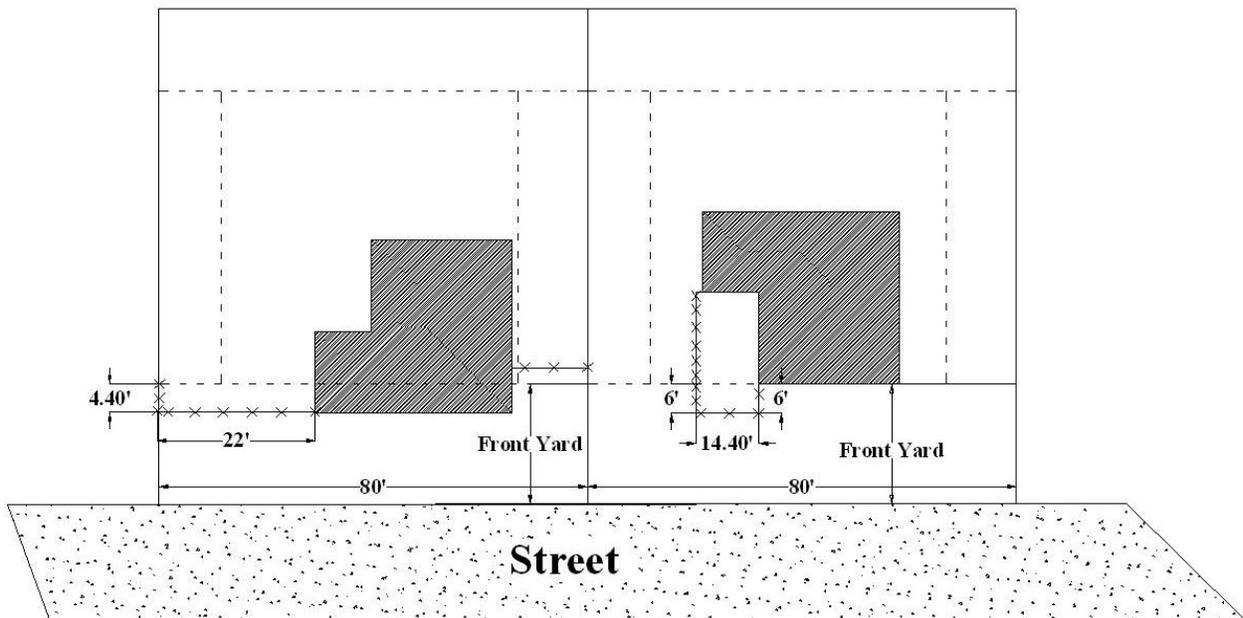


25' Sight Distance Triangle required at all street intersections, alley and street intersections, and intersections of Commercial driveways and streets.

10' Sight Distance Triangle required at the intersection of all Residential driveways and streets.

FENCE LENGTH IN A FRONT YARD

Fences may be installed in front yards in Residential, O-1 Professional Services Office, and OS Open Space Districts, provided that the fence is no more than one-third (1/3) opaque, and further, provided that the total length of fence in a front yard shall not exceed one-third (1/3) the length of the frontage of the front yard.



Lot Frontage = 80'

Total fence length allowed in front yard equals 1/3 of lot frontage;
 $80' \times \frac{1}{3} = 26.40'$

26.40' of fence allowed in front yard

SWIMMING POOL LOCATION

Swimming pools may be located not closer than ten (10) feet from the rear or interior side yard lot line, and are not allowed in the front or corner side yard in any residential district.

